

The H.L. Turner Group Inc.

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AUBURN VILLAGE SCHOOL ADDITION & RENOVATION **Executive Team Meeting Minutes**

Meeting No. 9

Date: 7/05/2018

Job No. 3933

Meeting Location: Conference Call

The following notes were taken during a conference call on Thursday 7/05/2018 at 9:00 am to review design and construction logistics of the Auburn Village School Addition and Renovation Project.

Attendees:	Dr. Phil Littlefield	SAU 15 Superintendent
	Dr. Lori Collins	Principal Auburn Village School
	Karen Lessard	SAU 15 Business Administrator
	Alan Villeneuve	Auburn Village School Board Chairman
	Janice Baker	Auburn Village School Board Vice Chairman
	Scott Dube	Auburn Village School Director of Maintenance
	Marc Jobin	AVS Project Manager, Jobin Construction Consultants
	Barrett Salta	Bonnette, Page & Stone, Project Manager
	Barrett R. Salta	Bonnette, Page & Stone, Asst. Project Manager
	Bill Hickey	Turner Group, Project Manager
	Doug Proctor	Turner Group, Project Architect

I. OLD BUSINESS:

Action Req'd	Item No.	Description
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Funding

TTG/ BPS	9.1	KL requested invoices be sent by the first Tuesday in the month so they can be reviewed at the school board meeting the following Tuesday. July 2018 invoices should be sent by 7/18.
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Contracts

TTG	1.3	TTG shall request proposals for site survey of the proposed construction access road and the building addition footprint geotechnical survey. Proposals shall be submitted to the team for review. 4/12: TTG received proposals from Meridian for additional site survey. TTG will have Meridian provide proposal for the North end of the school site as well. TTG also received 3 geotechnical proposals and shared with the.
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SAU. AVS asked TTG to approve contracts with site survey and geotechnical within budget to avoid delays. **4/26:** Meridian is scheduling visit, requested permission to survey on waterworks property. Geotech drilling was happening during meeting. KL requested copies of the contracts. **5/10** BH reported that early information is that the geotech survey showed good bearing soils, final report is to be issued. The site survey is to begin 5/18. **5/24:** BH stated geotech report is complete and turned over hard copy at meeting, electronic copy was emailed. Survey worksheet is due to TTG from Meridian by 5/25. **6/07** Survey worksheets received, TTG awaiting full survey. **6/21** Final survey not received by TTG, surveyor is confirming wetland locations. **6/28** Wetlands confirmed, final survey received, lot line between cemetery and MMW property needs further research, BH to clarify. **7/05** AV commented that property line will be determined between cemetery road and MWW property in future agreement, CLOSED.

TTG	1.9	<p>PL would like to have an IT consultant on the team to correct some of the issues the school has been having. They noted that there has been fiber optic cable installed to the site. Kitchen and audio visual consultants may also be needed. Also cafeteria acoustics should be addressed. 4/12: TTG will develop list of consultants for review. 4/26: TTG to research IT consultants. There was a discussion of state of the art classroom design, display and electronic video display and sources to assist with planning. 5/10: DP has located IT consultant and will set up introductory meeting with team and consultant. 5/24: DP to provide meeting schedule. 6/07 DP proposed meeting with IT consultant and SAU 90 technology consultant at same time to review options. DP to schedule. 6/21 DP to schedule. 6/28 DP to schedule in mid-July. 7/05 In progress.</p>
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SAU/BPS	4.1	<p>BPS was asked if lack of a contract will affect the progress of their work. BS responded that it would not. 5/24: KM commented that SAU attorney comments regarding subrogation will need to be discussed. PL approved KM contacting SAU attorney to work out. 6/07 In progress. 6/21 In progress. 6/28 In progress, BPS provided insurance certificate naming SAU as additionally insured subsequent to meeting. 7/05 Insurance certificate is linked to a contract which has not been executed, therefor SAU/AVS would like contract in place before portable classrooms are moved next week to reduce exposure. KL will get Primex to work out issues with contract.</p>
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Building Design Review

TTG	4.2	<p>DP presented two first floor plan options showing school grade locations and options for occupant connection between existing and proposed</p>
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portions of the building. It was determined that the new corridor connection is preferred and four kindergarten classrooms will be needed. Plans were provide for review. DP will be developing the second floor based on the first floor comments and will visit LC to discuss. **5/24:** DP presented Option 3 First & Second Floor Plan Diagrams. Additions to the plan requested were possible a PTA storage area. Shelving in the locker rooms, locker room structure should be reviewed. Existing Guidance office adjacent to Art room will be demolished and Guidance office will move into second floor kitchen space. There was a discussion about the corridor second floor slab infills. Review of 2009 International Existing Building Code requires the whole building be brought up to current building code "where the work area exceeds 50% of the aggregate area of the building. The second floor openings could be considered outside the work area. **6/07** DP review previous design decisions. DP instructed by AVS not to review atrium issues with code official at preliminary FD & BD meeting. Atrium opening infills are on hold for now. PTA storage proposed was deleted, PTA said does not need. **6/21** PTA Storage removed. DP reviewed building elevations sketches and cafeteria renovation Option 1. All are in agreement with elevations and Cafeteria Plan. DP will meet with Cafeteria Manager to review. **6/28** DP and Cafeteria Manager met to review café plan, seating to be between 250 & 260 student, storage area for after school program to be provided. DP reviewed the Admin area Option 5, LC and staff prefers this option. **7/05** Middle school lab design reviewed, removal of chimney alternate in addition project. Membrane roofing shall be EPDM. Third grade classrooms reviewed, plan approved with relocated sink in southeast classroom west of door.

TTG

4.3

Renovation of the locker rooms was discussed. DP will develop design for review based on the discussion. **5/24:** DP presented locker room options with Option 3 First & Second Floor Plan Diagrams. Locker Room summer work package is being developed. **6/07** DP to provide base Locker Room layout to BS to review logistics. **6/21** DP reviewed the revised locker room plan to incorporate new main electrical room. DP will review with BLW this is best cost electrical room location and we are not limiting school for the future. SD having chase was reviewed for hazardous materials. AV wants work completed this summer. Flooring should be rubber or seamless. **6/28** Final locker room design being developed in the construction documents for bidding. AV requested dimmers switches be added to LED lighting. **7/05** DP reviewed changes to locker room layout due to climbing wall location, all agreed. Locker room wall finishes shall be epoxy paint on impact resistant GWB. Restroom finishes shall be Impact resistant GWB with large format tile on wet wall and wall adjacent to toilet fixture.

TTG	4.4	DP will need to review existing and future required locker counts. 5/24: Existing locker count is 200 lockers. LC requested an additional 200 lockers in the addition second floor corridor. 6/07 Locker count available is 168, need 200 in addition area. 6/21 Design revision in progress. 6/28 In progress. 7/05 In progress.
TTG	4.5	LC, DP & BH had lunch in the cafeteria to observe how the lunch seatings flow and operate. DP will develop suggestions to help improve space design to assist operation. 5/24: DP to develop design and schedule cafeteria meeting. 6/07 DP to provide Cafeteria table layout to determine column or wall supports for café addition. 6/21 DP reviewed building elevations sketches and cafeteria renovation Option 1. All are in agreement with elevations and Cafeteria Plan. DP will meet with Cafeteria Manager to review plan. It was determined at meeting that 250 to 260 is the maximum seating required for cafeteria. Storage for after school program should be added. 6/28 In progress. 7/05 In progress.
TTG	4.6	AV would like to see a sports field site design that incorporate additional school land. Fields should include Soccer, baseball, softball and lacrosse. 5/24: TTG to review once survey is received from Meridian. 6/07 TTG overlaid proposed fields and rear access road over worksheets for review. TTG will condense field locations for review. Baseball outfield distance can be 285' to 300'. After meeting LC & DP reviewed idea of amphitheater in school center grounds, DP will develop design and review with group at next meeting. 6/21 DP reviewed amphitheater plan with team. DP to verify size of stage, AV would like stage to be all hardscape. The soccer field and softball field shall be in base bid. AV asked if softball field infield can serve as emergency vehicle turn around. Access road shall be gated at Fire Station end. 6/28 In progress. 7/05 In progress. Planning board meeting will be scheduled for presentation once site package is complete.
TTG	7.1	AV asked if solar panels can be installed on the roof. TTG will review structural loading requirements. 6/28 In progress, BH clarified that the new roof will be able to support and is better oriented for solar gain. 7/05 BH reviewing.

Budget, Schedule & Logistics

BPS	1.4	AV & LC requested a plan from BPS for the relocation of the two portable classrooms that will be impacted by the construction area. AV commented they may be able to reuse or sell portables in the future.
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4/12: BPS provided draft construction site plan, AVS asked for portable locations to be adjusted to provide better playground access. BPS will relocate propane tank from north corner of the school. TTG will review building separation requirements during construction. AVS will review parking plan options for faculty. **4/26:** TTG stated all buildings on the site can be viewed as one building and no fire separation distance is required between buildings. BPS reviewed construction plan, AVS asked for fence between playground and upper field for protection. AVS parking review pending. BPS will revise plan. **5/10** BS provided revised site construction layout. **5/24:** BS will add additional requested milestones after review of the SD package. **6/07** BPS presented revised construction schedule, see attached. AV stated classrooms need to be ready for 9/2019. **6/21** BPS presented revised construction schedule. Work on relocation of the portable classrooms has commenced. **6/28** In progress, site grading and utility relocation is taking place, a lot of loam present on site. Reduced the size of the basketball court to 50' x 74'. Existing underground gas line around north end of building feeds portables and modular classrooms. Demolition has begun on the locker rooms. **7/05** In progress.

TTG	1.5	<p>AV requested a schedule of milestones of design and construction for the school board to make them aware of the overall schedule items. 4/12: TTG issued design schedule subsequent to the meeting via email. This schedule was coordinated with the construction schedule. AVS reviewing. 4/26: TTG to review schedule with BPS. Coordination of swing space will be important to the project phasing. 5/10 JB provide a list milestones for incorporation into the schedule. There was a detailed discussion of the AOT submission and the construction of the site access road. It was determined that goal is to completed access road by October 1. AOT submission shall be provided to State DES on July 15, BPS will bid work during state review period, and TTG will work to have a quick review of the AOT submission completed by DES. TTG will provide a preliminary of the site work to AV by June 1 for review meeting with Manchester Water Works. 5/24: AV clarified MWW board meeting will be on 6/28, TTG will have preliminary info for review by 6/15 or before. 6/07 Design in progress. 6/21 TTG provide 3 copies of plan to AV at meeting, AV to review with MWW. TTG meeting with NHDES on 6/21. AV has scheduled Conservation Commission meeting for TTG presentation of the project on 6/26 at 6:00 at Auburn Town Hall. 6/28 CC meeting took place, CC in agreement with project. AV will have AVS attorney draft agreement between AVS & MMW. 7/05 MMW awaiting site work package for review.</p>
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TTG	1.6	AVS requested an updated copy of the construction and project budget for their use. 4/12: BPS will forward latest construction budget to KL for project budget coordination. 4/26: In progress. 5/10 Most recent budget was provided SAU. Budget will not be updated until BPS has schematic design package to compare against the budget. 5/24: DP noted that the submission of the SD package for 5/21 is behind schedule and will be submitted 5/25 or 5/29. 6/07 TTG issued SD package 5/30 for BPS review. 6/21 Design Development and Bid Package 1 are on schedule. 6/28 Design Development and Bid Package 1 are on schedule. 7/05 Design Development and Bid Package 1 are on schedule.
BPS	6.1	BS reviewed early construction phasing. Still in progress. 6/21 BPA reviewed summer 2018 phasing. Full phasing pending. 6/28 In progress. 7/05 In progress.
BPS	8.1	SD noted that he is going to have some hazardous material abatement performed this summer in limited areas. SD will provide plan of rooms involved. 7/05 Plan provided, CLOSED.
BPS	8.2	SD noted he is having the roof top ductwork replaced on the '88 addition from the roof top ERV and insulating the ducts from the roof over the stage. 7/05 CLOSED.

Design Meetings

TTG	1.8	LC shall develop room assignments for the addition. DP will provide floor plans to LC for use. 4/12: LC provided, DP reviewing. Programming meetings have been scheduled with the users on 4/19 & 4/20. LC will provide schedule. 4/26: DP issued programming meeting minutes, shared LC room assignments, and reviewed the key items from the meetings and will provide a revised design for review. 5/10 DP will be scheduling additional design meetings with HVAC, Plumbing, Electrical and Kitchen. 5/24: DP to schedule meetings. DP will also schedule meetings with Auburn Building Department and Fire Department. 6/07 BD & FD Meeting scheduled for 10:00 am 6/14 at Town Hall. DP proposed a meeting with IT Consultant and School Technology Consultant to start the technology conversation. 6/07 DP to schedule. 6/21 In progress. 6/28 In progress. 6/28 DP to schedule IT in mid-July. 7/05 DP to schedule IT in mid-July. DP contact SFMO for preliminary meeting, no response yet, will try different again.
TTG	8.3	DP to schedule meeting with State Fire Marshal's Office to review project as requested by Auburn BD & FD. 7/05 DP contact SFMO for preliminary meeting, no response yet, will try different again.

Summer 2018 Projects

- TTG 1.11 AV noted that all but two roofs should be replaced. The Gymnasium and the locker room roof were recently replaced. AV would like to have one of the simpler roofs replaced this summer. **4/12:** AV requested the roofs on the northwest wing be replaced this summer, membrane and shingle roofs. TTG to coordinate documentation. **4/26:** In progress. **5/10:** TTG reviewed all of the roofs on the southwest side of the building. It was determined not to work on the Third grade roof this summer due to the new HVAC unit required, TTG will concentrate on other roofs and review the required unit availability. **5/24:** DP noted the roof package will be released by 6/1. Hazardous Materials associated with the reroofing are a concern, BH will contact RPF Environmental to survey the roof for hazmats. AV would like the Third grade roof incorporated into the package. TTG will provide replacement unit spec for energy recovery unit for AVS to purchase directly for installation. **6/07** TTG Early roof package for bidding. Mechanical consultant reviewing required roof top unit replacement. AV noted present long lead times of 19 weeks for roof top units. SD indicated roof cut info should be provided next week. **6/21** BPS noted they have roofing bids in and will make a recommendation next week. **6/28** BS will send roof bid tabulation and recommendation for review. **7/05** Roof package awarded to Twin Metals, AVS requested the cupola roof be switched to copper.
- TTG 1.16 AV would like to perform some renovation work this summer. DP requested a list of proposed projects soon so that documentation and construction requirements can be review to determine if the project is feasible. **4/12:** Work identified for this summer is the electrical and window replacements in the four northwest classrooms, cupola repairs, and the roof work discussed in item 1.11. **4/26:** DP to develop work scope and schedule with BPS. **5/10:** It was determined that the locker room renovations should be added to the possible work list. **5/24:** DP presented locker room options with Option 3 First & Second Floor Plan Diagrams. Locker Room summer work package is being developed. Window package for Third Grade wing was removed from the work schedule. **6/07** DP to issue locker room work. DP to provide base Locker Room layout to BS to review logistics. **6/21** DP will provide revised locker room plan drawings for bidding, with early demo plan release. **6/28** TTG to provide construction documents week of 7/2. **7/05** Locker rooms are demolished. TTG provided architecture and structural revisions, MPE information to follow next week.
- TTG 5.1 AV would like to have add alternates to provide gymnasium ventilation, replace the ceiling fans and repaint the space. **6/07** Field work to

become two alternates. Demo of Modulares alternate added also. **6/21** DP will provide revised locker room plan drawings for bidding, with early demo plan release. Additional alternates added were the dehumidification of the addition wing and renovation areas, and to provide heat tempering of outside air to the remaining existing ERV's. **6/28** No changes. **7/05** DP suggested that side basketball goals in the gymnasium would be an easy alternate and would free up space in the gym, AVS agreed.

BPS 7.2 BPS is reviewing the installation of basketball court for school use in winter of 2019. TTG will determine if work can proceed without AOT approval. **6/28** Basketball court being partially installed, TTG will list present area of disturbance on AOT. **7/05** CLOSED.

AVS 9.2 AVS would like a project sign. AVS will develop what they want on the sign and TTG will provide mock-up.

II. END OF MEETING:

These minutes are an official communication between The Turner Group, the Contractor and the Owner. If you disagree in whole or in part, notify the Architect immediately. If communication is not received within one (1) week, we will assume agreement with these minutes.

Next Meeting: Thursday, 7/12/2018 at 9:00 A.M. in the AVS Conference Room.

Respectfully Submitted,

THE H.L. TURNER GROUP INC.



Doug Proctor, AIA, NCARB, LEED BD+C
Principal | Senior Vice President of Architecture

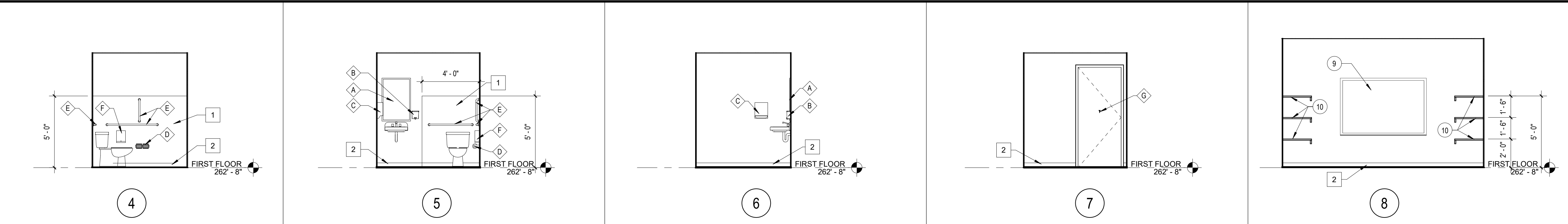
RDP/sai

CC: Larry Brown, Bonnette, Page & Stone, Project Superintendent
 Keith McBey, Bonnette, Page & Stone, President
 Dan Hall, Turner Group, Architect
 Barry Hoeg, Turner Group Architect
 Eric Dinsmore, Turner Group Head of Production
 Mark McLeod, TTG Civil Engineer

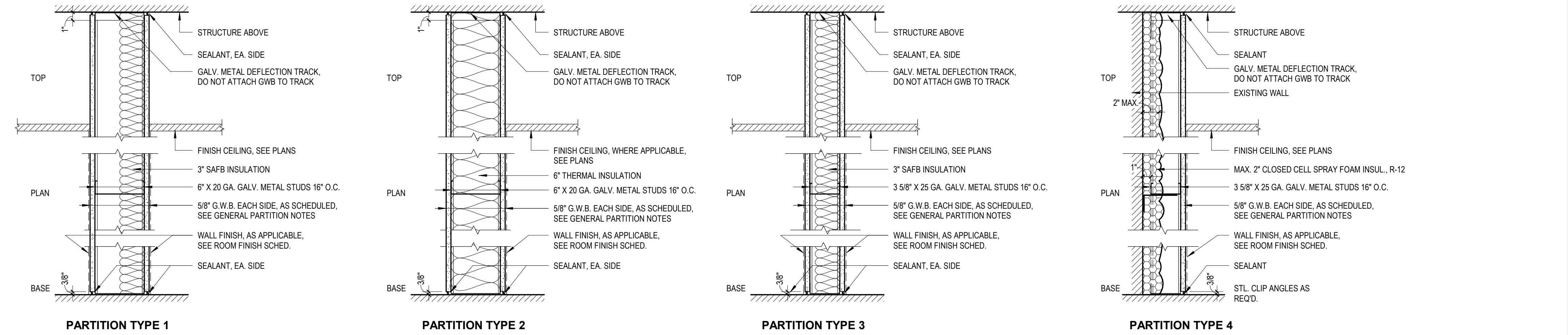
Steve Caulfield, TTG Mechanical Engineer
David Catanzaro, BLW Engineers, Mechanical Engineer
Andrew Wilkinson, BLW Engineers, Mechanical Engineer
John Pierga, BLW Engineers, Electrical Engineer
Scott Daigneault, BLW Engineers, Electrical Engineer
Attendees
File

Enclosures: AVS Locker Room Change (2 sheets)
Middle School Labs (2 sheets)
Third Grade Revisions (1 Sheet)

1/8" = 1'-0"
3/32" = 1'-0"
1/16" = 1'-0"
3
2
1
A
B
C
D
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F
G

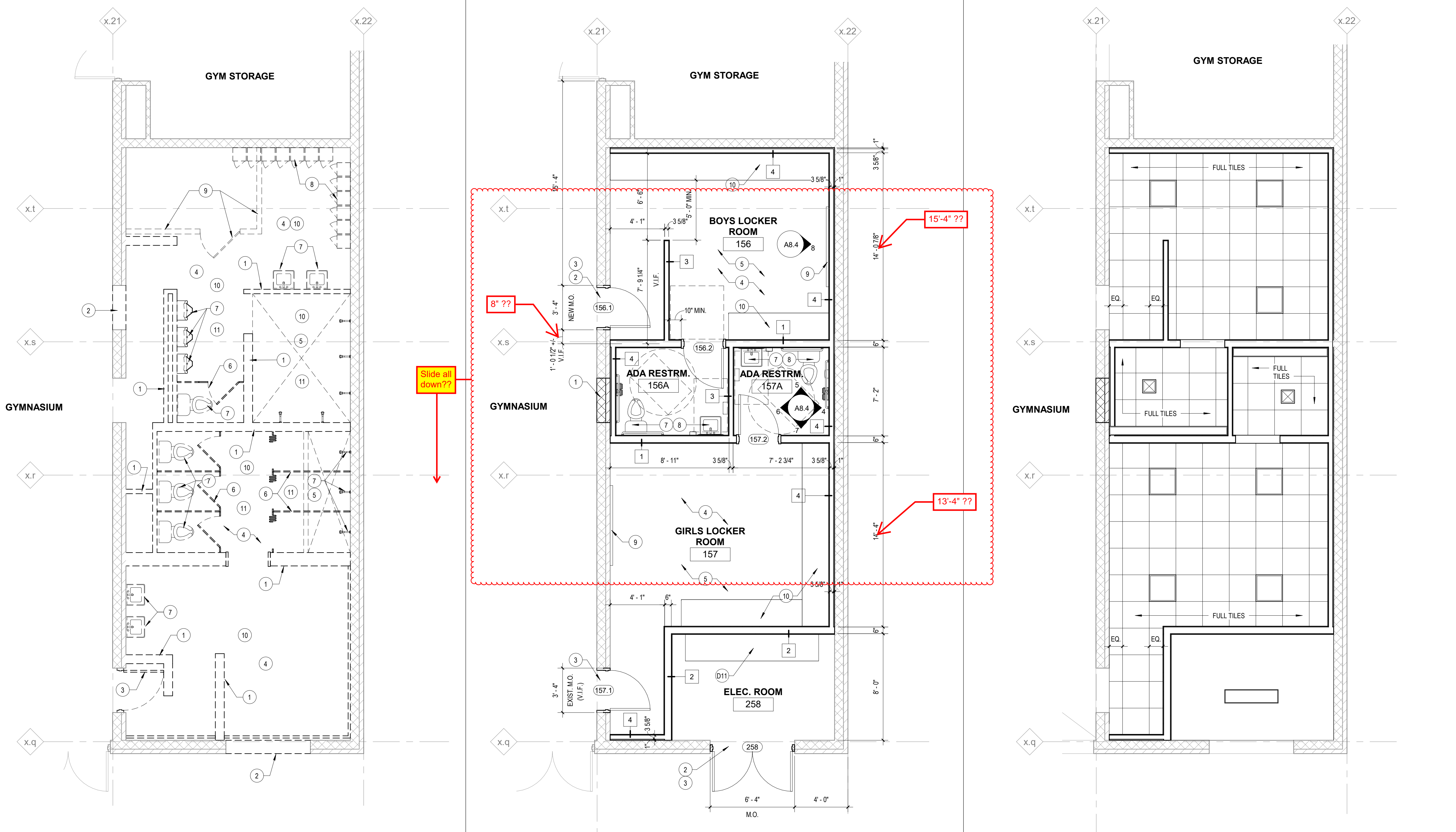


INTERIOR ELEVATIONS



9 PARTITION TYPES - LOCKER ROOM RENOVATION

A8.4 Scale: 1 1/2" = 1'-0"



1 DEMOLITION PLAN - LOCKER ROOM RENOVATION

A8.4 Scale: 1/4" = 1'-0"

2 ENLARGED PLAN - LOCKER ROOM RENOVATION

A8.4 Scale: 1/4" = 1'-0"

3 CEILING PLAN - LOCKER ROOM RENOVATION

A8.4 Scale: 1/4" = 1'-0"

RCP GENERAL NOTES	
1. SEE SHEET A2.1 FOR CEILING TYPE LOCATIONS AND CEILING HEIGHTS. 2. SEE WINDOW HEAD DETAILS FOR CEILING CONDITIONS AT WINDOWS.	
CEILING LEGEND	
CEILINGS	2' x 4' ACOUSTICAL PANEL CEILING
	GWB CEILING
ELECTRICAL	2' x 2' RECESSED FLUORESCENT LIGHTING FIXTURE
	RECESSED LINEAR LIGHTING FIXTURE
	1' x 4' SURFACE MOUNTED FLUORESCENT LIGHTING FIXTURE
MECHANICAL	HVAC DIFFUSER GRILL; SEE MECH. PLANS
	HVAC RETURN GRILL; SEE MECH. PLANS
	HVAC EXHAUST GRILL; SEE MECH. PLANS
GENERAL	CONSTRUCTION NOTE. SEE LEGEND BELOW

INTERIOR ELEVATION NOTES	
1	FRP WALL FINISH SURFACE
2	4" BASE
GENERAL FLOOR PLAN NOTES	
1. FINISH FLOOR ELEVATION = XXX'-X" X = DISTANCE OF GRADE BELOW FFE IN INCHES X = DISTANCE OF GRADE ABOVE FFE IN INCHES FINISH FLOOR ELEVATION OF BUILDING IS REFERENCED AS TOPOGRAPHIC DATUM ELEVATION, AND IS MEASURED FROM THE TOP OF EXISTING FLOOR. SEE CIVIL DRAWINGS FOR ELEVATIONS BASED ON TOPOGRAPHIC DATUM. 2. DO NOT SCALE DRAWINGS 3. THE CONTRACTOR SHALL PROVIDE BLOCKING FOR ALL MILLWORK, MECHANICAL FIXTURES, PLUMBING FIXTURES AND ELECTRICAL DEVICES AS REQUIRED. 4. ALL LUMBER IN DIRECT CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. 5. CM SHALL REVIEW, PRIOR TO INSTALLATION, ANY CONFLICT OF ENGINEERING TRADE DEVICES (I.E. FIRE ALARM STROBES) WITH ARCHITECTURAL DETAILS AND BRING THOSE DISCREPANCIES TO THE ARCHITECT FOR REVIEW. 6. ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF CONCRETE, FACE OF MASONRY OR CENTER OF OPENING, U.N.O. 7. COORDINATE MISCELLANEOUS STEEL REQUIREMENTS FOR MOUNTING / HANGING OWNER SUPPLIED EQUIPMENT. 8. BUILDER SHALL COORDINATE ALL ROUGH OPENING DIMENSIONS WITH FLASHING DETAILS. 9. SEE THIS SHEET FOR PARTITION TYPES	

TOILET ACCESSORIES LEGEND	
A	24" x 36" MIRROR
B	SURFACE MOUNTED SOAP DISPENSER, OWNER FURNISHED & CONTRACTOR INSTALLED
C	SURFACE MOUNTED PAPER TOWEL DISPENSER/DISPOSAL, OWNER FURNISHED & CONTRACTOR INSTALLED
D	SURFACE MOUNTED TOILET TISSUE DISPENSER, OWNER FURNISHED & CONTRACTOR INSTALLED
E	GRAB BARS 36" HORIZONTAL REAR BAR, 42" HORIZONTAL SIDE BAR, 18" VERTICAL SIDE BAR
F	SURFACE MOUNTED SANITARY NAPKIN DISPOSAL
G	DOOR MOUNTED COAT HOOK
CONSTRUCTION LEGEND	
	NEW CONSTRUCTION
	EXISTING TO REMAIN
X	CONSTRUCTION NOTE SEE LEGEND BELOW

CONSTRUCTION NOTE LEGEND	
1	INFILL, TOOTH-IN, AND/OR PATCH CMU & BRICK WALL SURFACES TO MATCH EXISTING AN EXISTING UNDISTURBED NEW MASONRY OPENING IN EXISTING LOADBEARING CMU w/BRICK VENEER WALL, SHORE, BRACE, & SUPPORT CONSTRUCTION TO REMAIN ON EITHER SIDE OF LOADBEARING WALL. REMOVE LOADBEARING CMU & BRICK TO EXTENT REQUIRED TO INSTALL NEW STEEL LINTELS, AS SCHEDULED, REPLACE NEW DOOR, FRAME & HARDWARE, AS SCHEDULED, PRIOR TO NEW WORK
2	INFILL CONCRETE FLOOR SLAB PREVIOUSLY REMOVED FOR NEW INFILLERS, AS PLUMBING FLASH PATCH & LEVEL EXISTING CONCRETE FLOOR SLAB & PREPARE SURFACES FOR NEW FLOORING & BASE, AS SCHEDULED
3	NEW WALL CONSTRUCTION, AS SCHEDULED; SEE PLUMBING DRAWINGS
4	NEW PLUMBING FIXTURES, AS SCHEDULED; SEE PLUMBING DRAWINGS
5	NOTE: REMOVE ROOF DECK, ROOF INSUL., ROOFING, ETC., TO EXTENT REQUIRED TO PROVIDE NEW PLUMBING VENTS UP THRU ROOF AS REQUIRED. REMOVE EXISTING ROOF DECK, ROOF INSUL., ROOFING, ETC., TO EXTENT REQUIRED TO PROVIDE NEW PLUMBING VENTS UP THRU ROOF AS REQUIRED. REMOVE EXISTING ROOF DECK, ROOF INSUL., ROOFING, ETC., TO EXTENT REQUIRED TO PROVIDE NEW PLUMBING VENTS UP THRU ROOF AS REQUIRED.
6	NEW TOILET ROOM ACCESSORIES, AS SCHEDULED
7	NEW MIRROR, AS SCHEDULED
8	NEW MIRROR, AS SCHEDULED
9	NEW MIRROR, AS SCHEDULED
10	NEW STORAGE SHELVING, PROVIDED BY OWNER, OWNER FURNISHED & NEW ELECTRIC SWITCHGEAR; SEE ELECTRICAL DRAWINGS
11	

TURNER GROUP

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Phone 603-524-3411
Fax 603-524-4641

KEY PLAN:
PROJECT TITLE / ADDRESS:
SAU 15 - AUBURN VILLAGE SCHOOL
LOCKER RENOVATIONS

11 EATON HILL RD.
AUBURN, NH 03032

ISSUE:
CONTRACT DOCUMENTS
06/29/2018

PROJ. NO.:	3933	STAMP
SCALE:	As indicated	
DES. BY:	BAH	
DRAWN BY:	KD	
CHECKED BY:	ROP	
ISSUE DATE:	06/29/18	
REVISIONS		

SHEET TITLE:
LOCKER ROOM RENOVATION PLANS

A8.4

7/2/2018 1:42:43 PM

1/8" = 1'-0"
3/32" = 1'-0"
1/16" = 1'-0"

1/16" = 1'-0"

3

2

1

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DOOR AND FRAME SCHEDULE

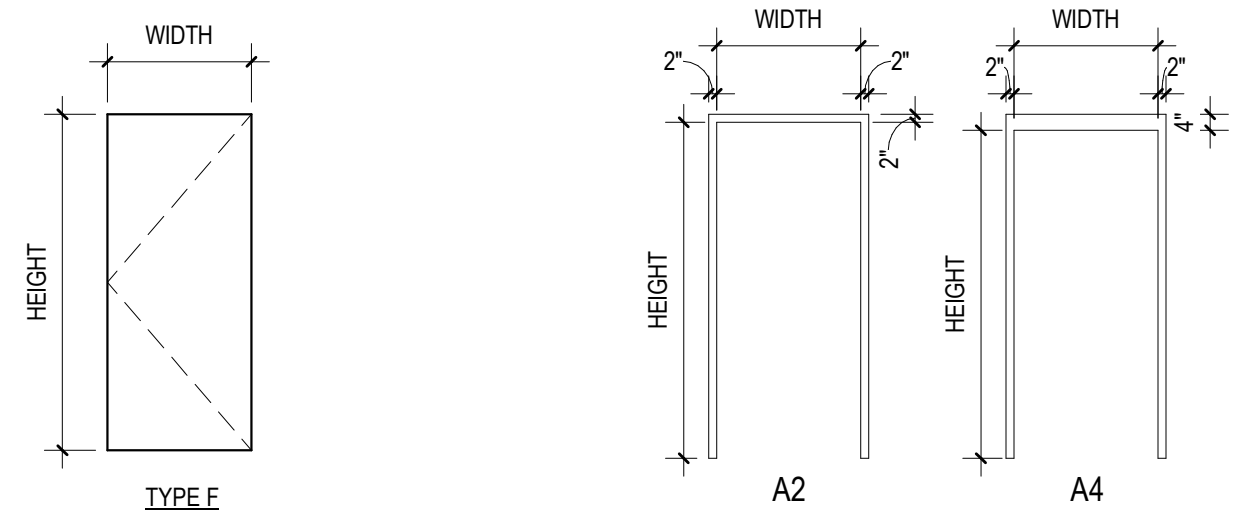
DOOR #	ROOM NAME	ROOM #	DOOR TYPE	DOOR				GLAZING TYPE	MAT.	FIN.	FRAME			ASSEMBLY RATING	DETAIL LOCATION			FUNCTION	HARDWARE SET	LINTEL ANGLE	DOOR NOTES
				WIDTH	HEIGHT	THICKNESS					FRAME TYPE	MAT.	FIN.		HEAD	JAMB	SILL				
156.1	BOYS LOCKER ROOM	156	F	3'-0"	7'-0"	1 3/4"		---	H.M.	PT-2	A4	H.M.	PT-2	---	---	---	---	CLASSROOM	2	(3) 5" X 3 1/2" X 1/4" LLV STEEL ANGLE w/MIN. 4" MIN. MASONRY BEARING	
156.2	ADA RESTRM.	156A	F	3'-0"	7'-0"	1 3/4"		---	H.M.	PT-2	A2	H.M.	PT-2	---	---	---	---	PRIVACY	3	---	
157.1	GIRLS LOCKER ROOM	157	F	3'-0"	7'-0"	1 3/4"		---	H.M.	PT-2	A4	H.M.	PT-2	---	---	---	---	CLASSROOM	2	(3) 5" X 3 1/2" X 1/4" LLV STEEL ANGLE w/MIN. 4" MIN. MASONRY BEARING	
157.2	ADA RESTRM.	157A	F	3'-0"	7'-0"	1 3/4"		---	H.M.	PT-2	A2	H.M.	PT-2	---	---	---	---	PRIVACY	3	---	
258	ELEC. ROOM	258	F	6'-0"	7'-0"	1 3/4"		---	INSUL. H.M.	PT-4	A4	H.M.	PT-4	---	---	---	---	EXIT	1	(3) 5" X 3 1/2" X 1/4" LLV STEEL ANGLE w/MIN. 8" MIN. MASONRY BEARING	

ROOM FINISH SCHEDULE

ROOM NUMBER	ROOM NAME	FLOOR		BASE	CASEWORK			NORTH WALL		EAST WALL		SOUTH WALL		WEST WALL		CEILING		COMMENTS
		SUBSTRATE	FINISH		CABINETS	COUNTERS	SILLS	SUBSTRATE	FINISH	SUBSTRATE	FINISH	SUBSTRATE	FINISH	SUBSTRATE	FINISH	HEIGHT	FINISH	
156	BOYS LOCKER ROOM	CONC.	RUBBER TILE (SEE COMMENTS)	VINYL	---	---	---	CMUBRICK	PT-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	9'-0"	SUSP. A.C.T.	FLOORING BASE BID = RUBBER FLOORING; ADD ALTERNATE = SEAMLESS FLOORING
156A	ADA RESTRM.	CONC.	RUBBER TILE (SEE COMMENTS)	VINYL	---	---	---	GWB	PT-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	8'-0"	SUSP. A.C.T.	FLOORING BASE BID = RUBBER FLOORING; ADD ALTERNATE = SEAMLESS FLOORING
157	GIRLS LOCKER ROOM	CONC.	RUBBER TILE (SEE COMMENTS)	VINYL	---	---	---	CMUBRICK	PT-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	9'-0"	SUSP. A.C.T.	FLOORING BASE BID = RUBBER FLOORING; ADD ALTERNATE = SEAMLESS FLOORING
157A	ADA RESTRM.	CONC.	RUBBER TILE (SEE COMMENTS)	VINYL	---	---	---	GWB	PT-1	GWB	PT-1	GWB	PT-1	GWB	PT-1	8'-0"	SUSP. A.C.T.	FLOORING BASE BID = RUBBER FLOORING; ADD ALTERNATE = SEAMLESS FLOORING
258	ELEC. ROOM	CONC.	SEALED	VINYL	---	---	---	GWB	PT-1	GWB	PT-1	CMUBRICK	PT-1	CMUBRICK	PT-1	10'-0" +/-	GWB/PT-5	---

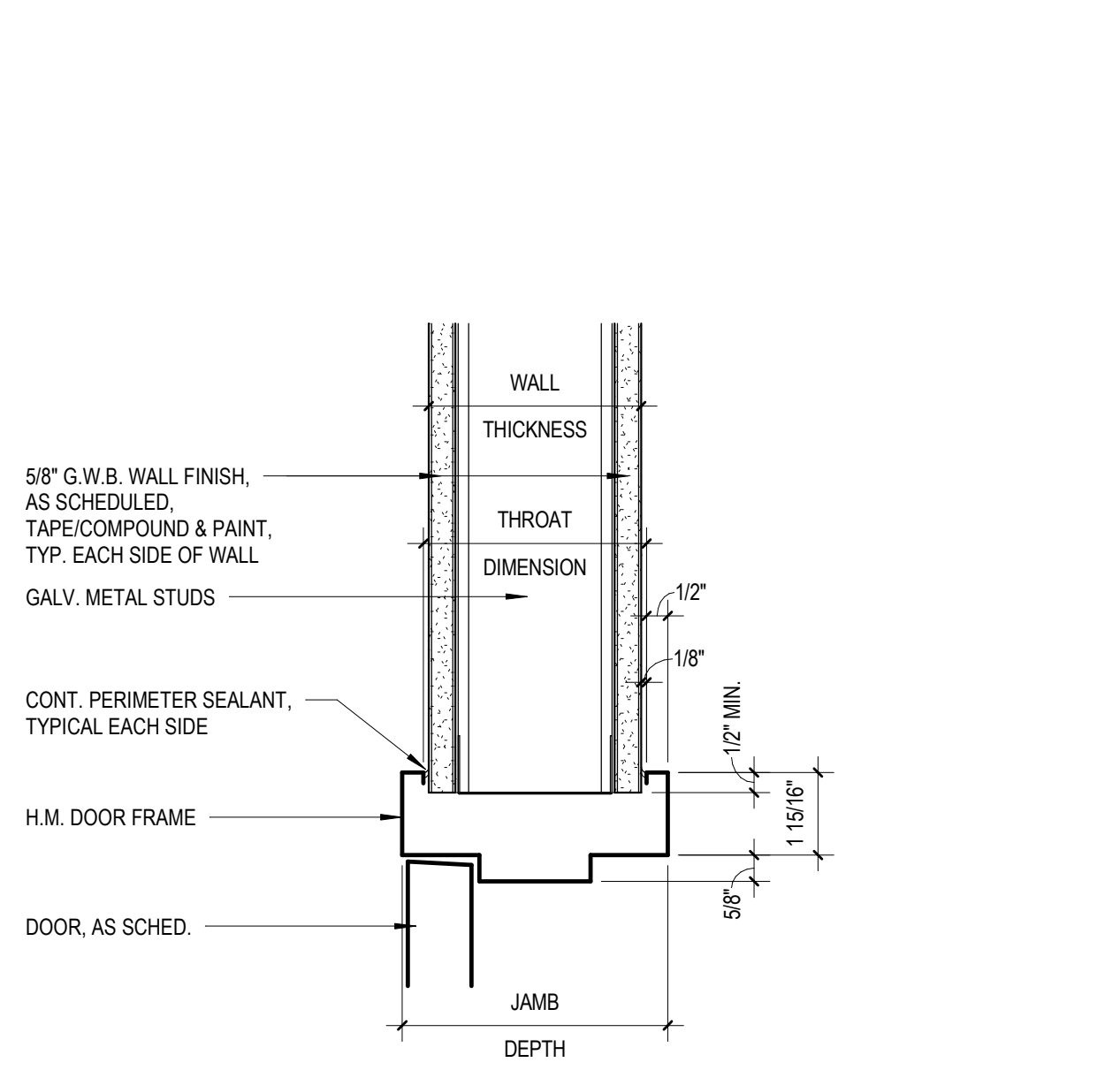
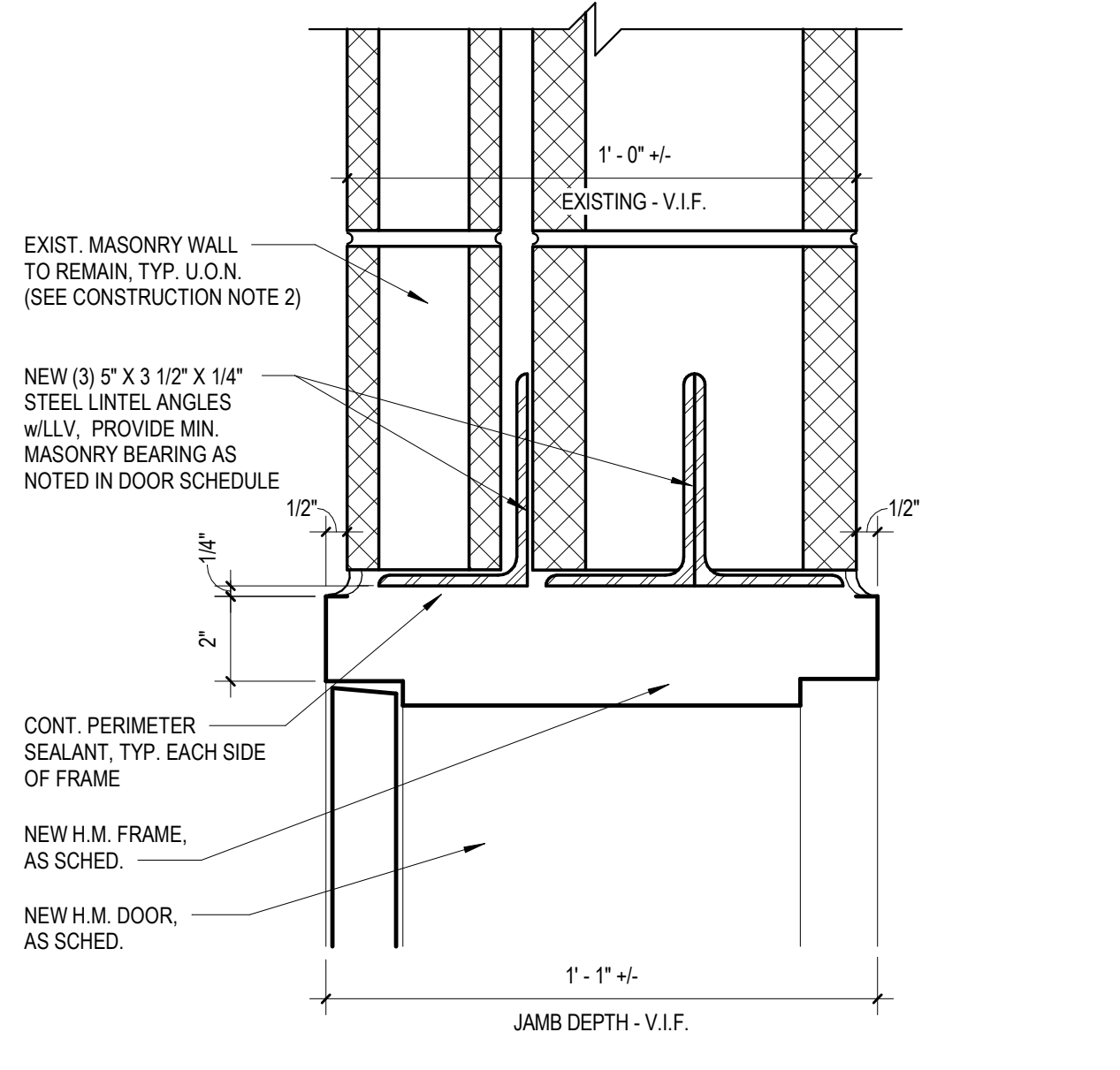
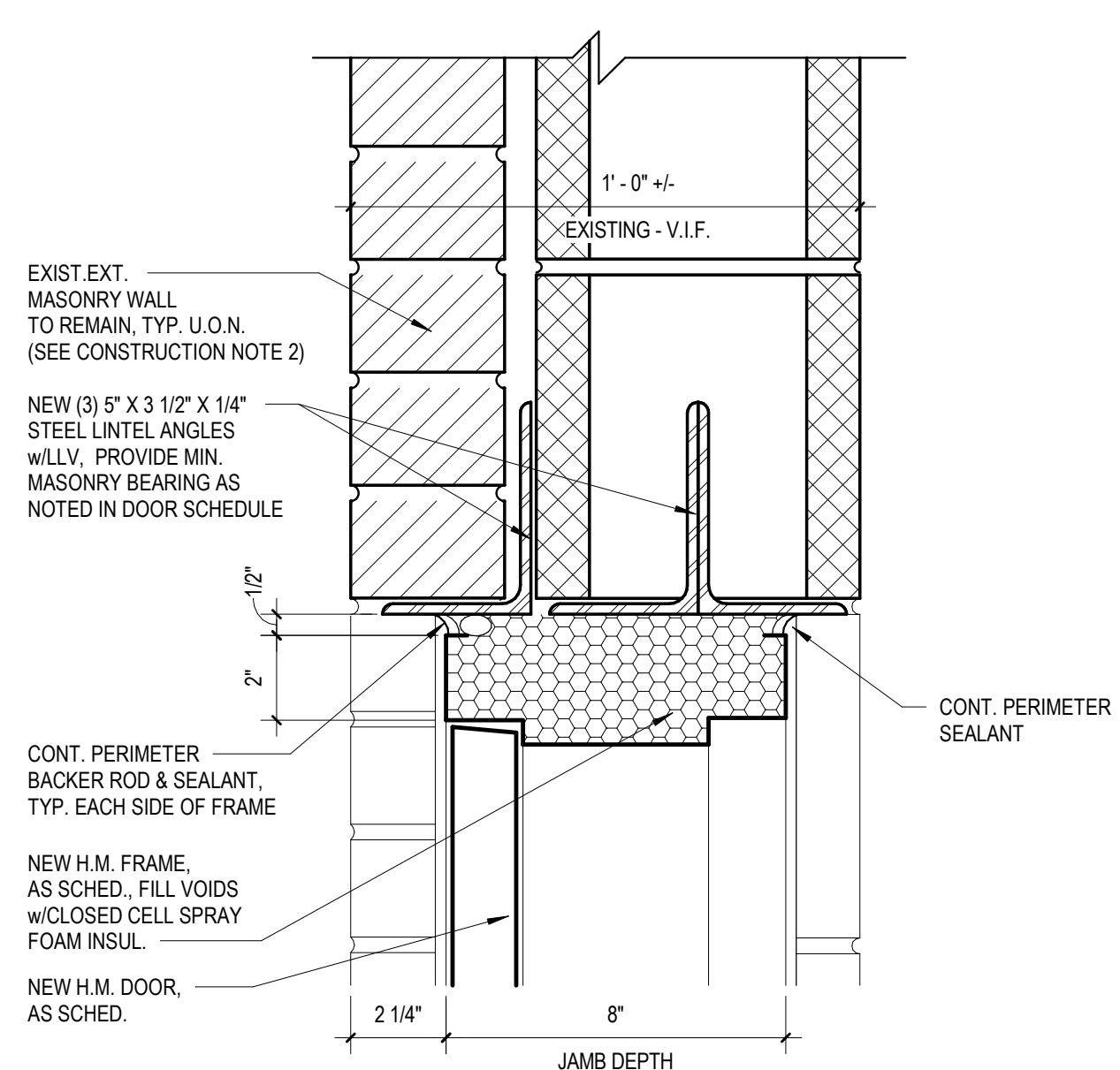
HARDWARE SETS

HARDWARE SET 1	HARDWARE SET 2	HARDWARE SET 3
6 HINGES 2 CLOSERS w/INTEGRAL OVERHEAD STOPS 1 VERTICAL ROD EXIT DEVICES 1 CYLINDER 1 SET SURFACE FLUSH BOLTS, T&B 2 KICKPLATES 1 SET WEATHERSTRIPPING 1 THRESHOLD 6 SILENCERS	3 HINGES 1 LOCKSET 1 CYLINDER 2 KICKPLATES 1 WALL STOP 3 SILENCERS	3 HINGES 1 LOCKSET 2 KICKPLATES 1 WALL STOP 3 SILENCERS



DOOR & FRAME TYPES

Scale: 1/4" = 1'-0"



EXT. HM DOOR HEAD - EXIST. WALL

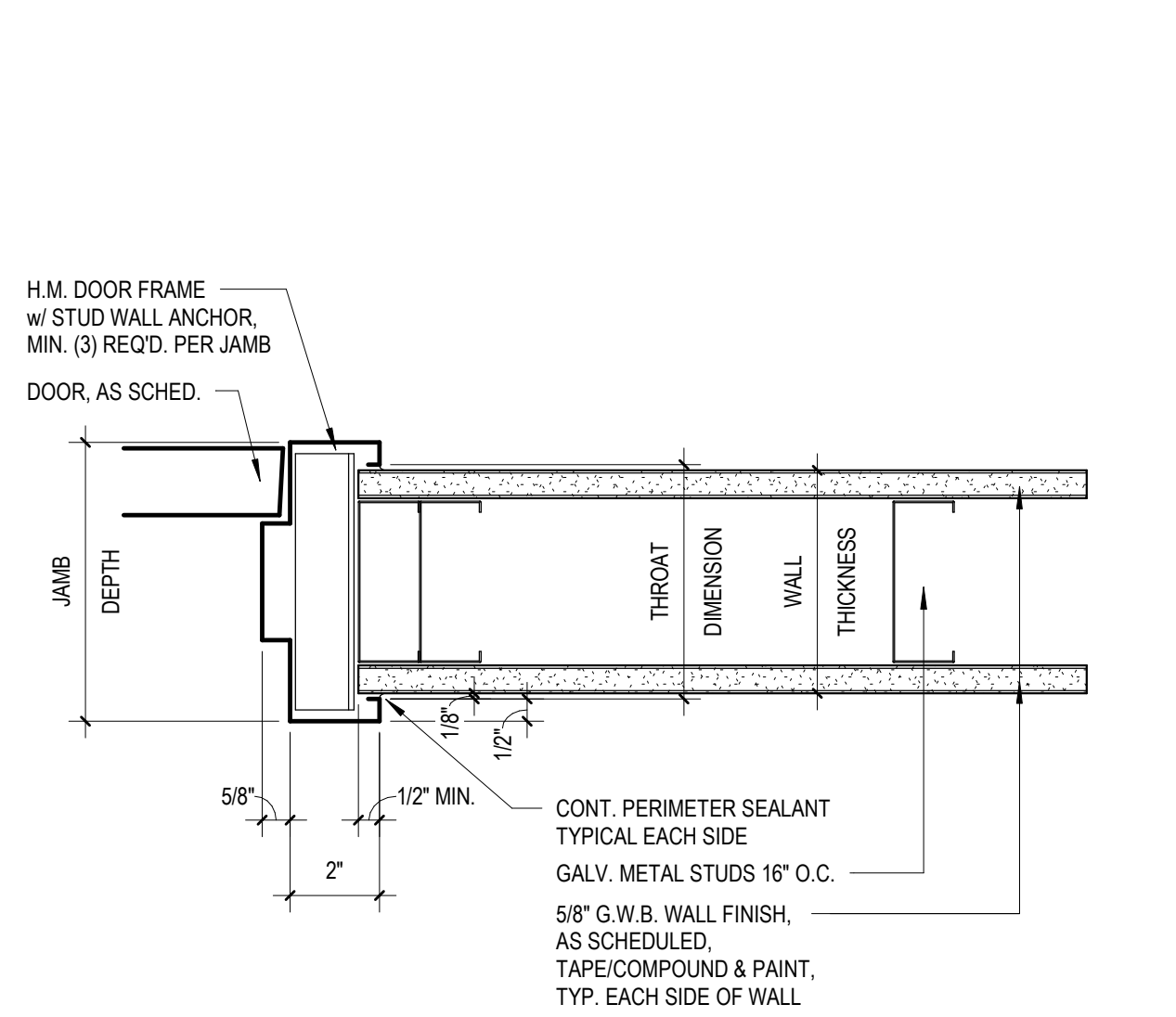
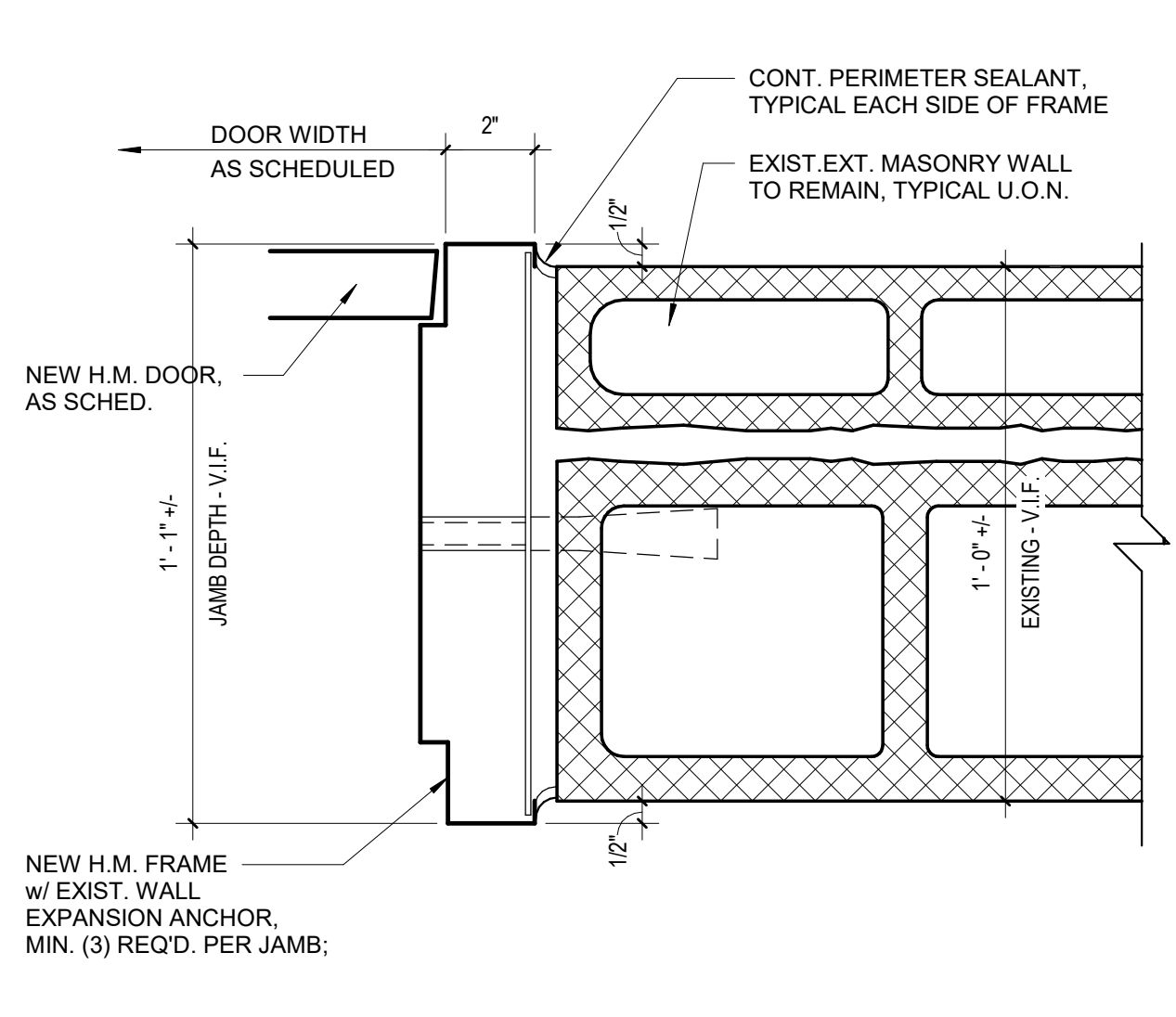
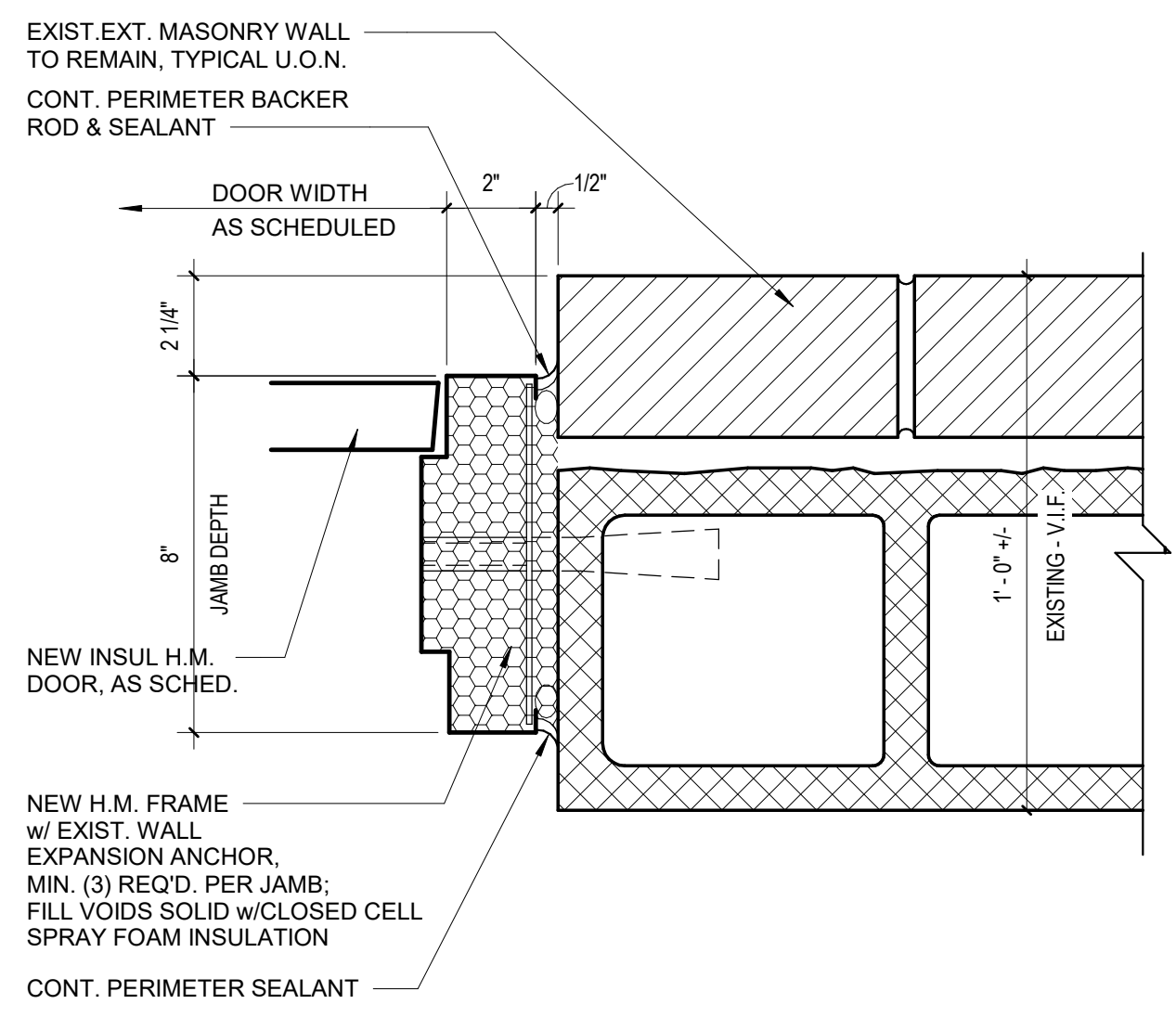
Scale: 3/8" = 1'-0"

INT. HM DOOR HEAD - EXIST. WALL

Scale: 3/8" = 1'-0"

INT HM DOOR HEAD - NEW STUD WALL

Scale: 3/8" = 1'-0"



EXT. HM DOOR JAMB - EXIST. WALL

Scale: 3/8" = 1'-0"

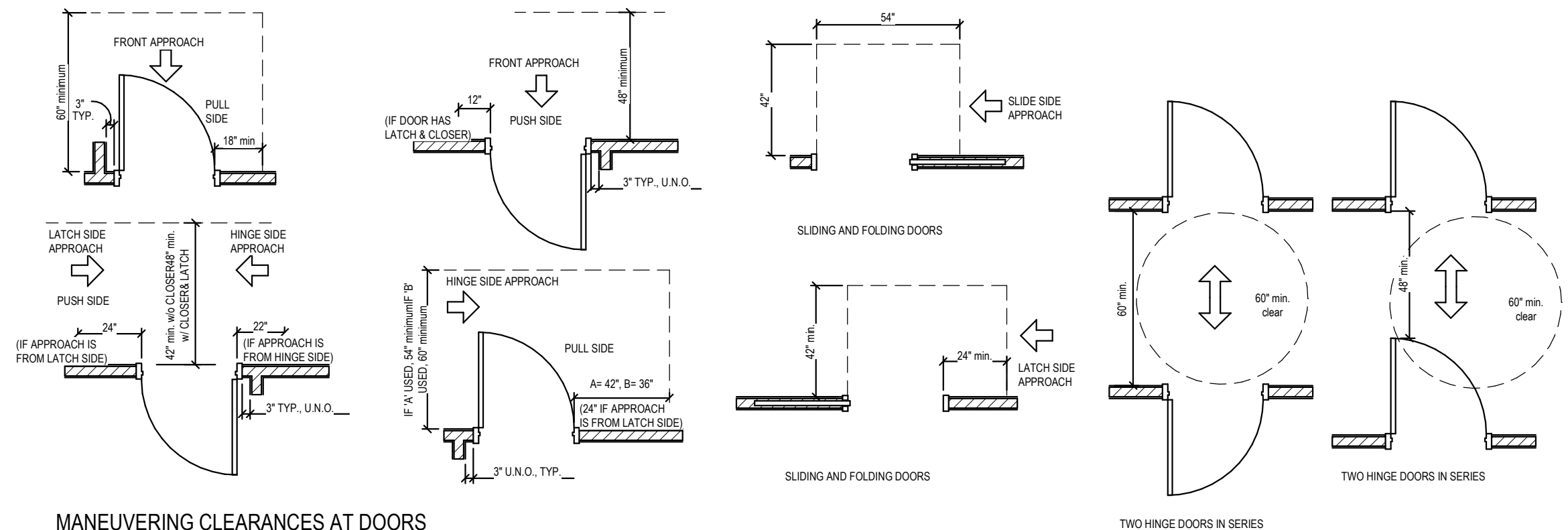
INT. HM DOOR JAMB - EXIST. WALL

Scale: 3/8" = 1'-0"

INT HM DOOR JAMB - NEW STUD WALL

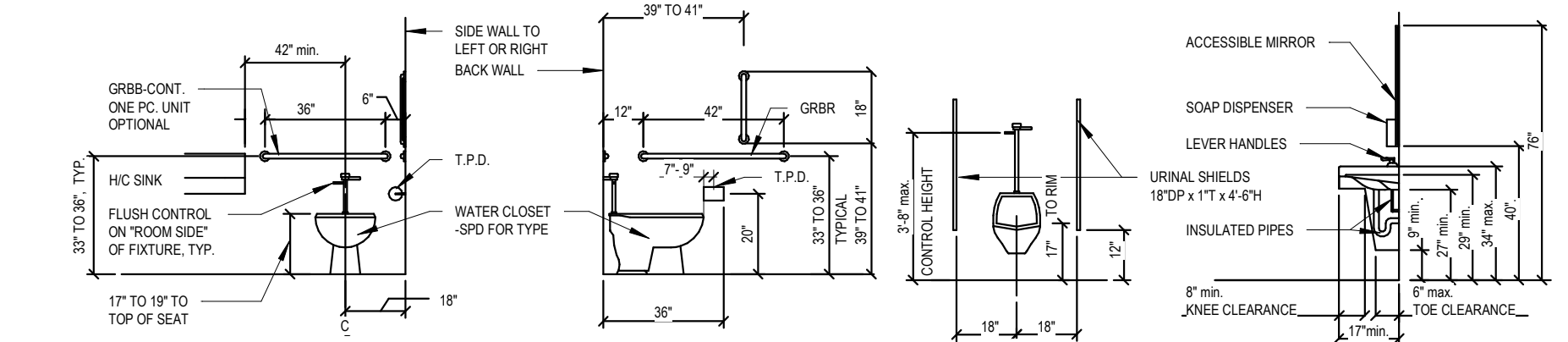
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TYPICAL ACCESSIBILITY DETAILS



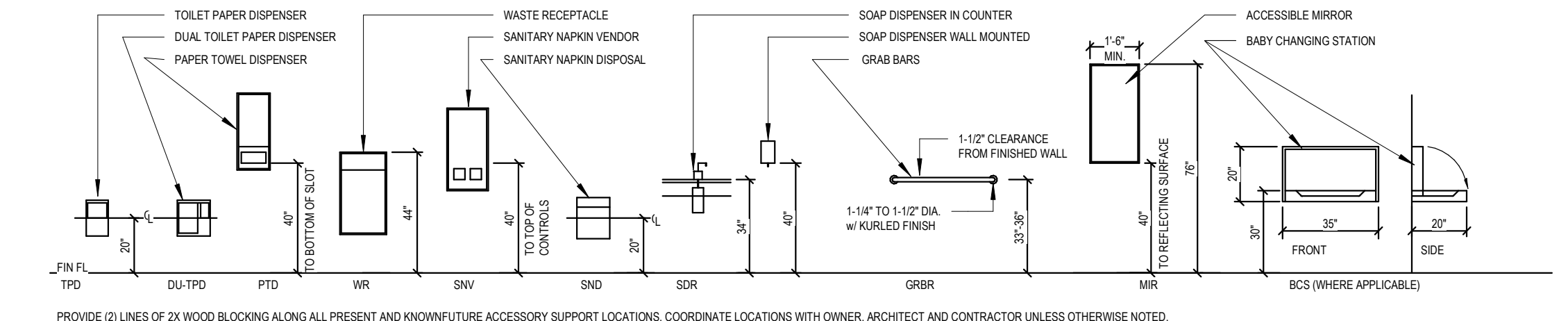
MANEUVERING CLEARANCES AT DOORS

TYPICAL - U.N.O.



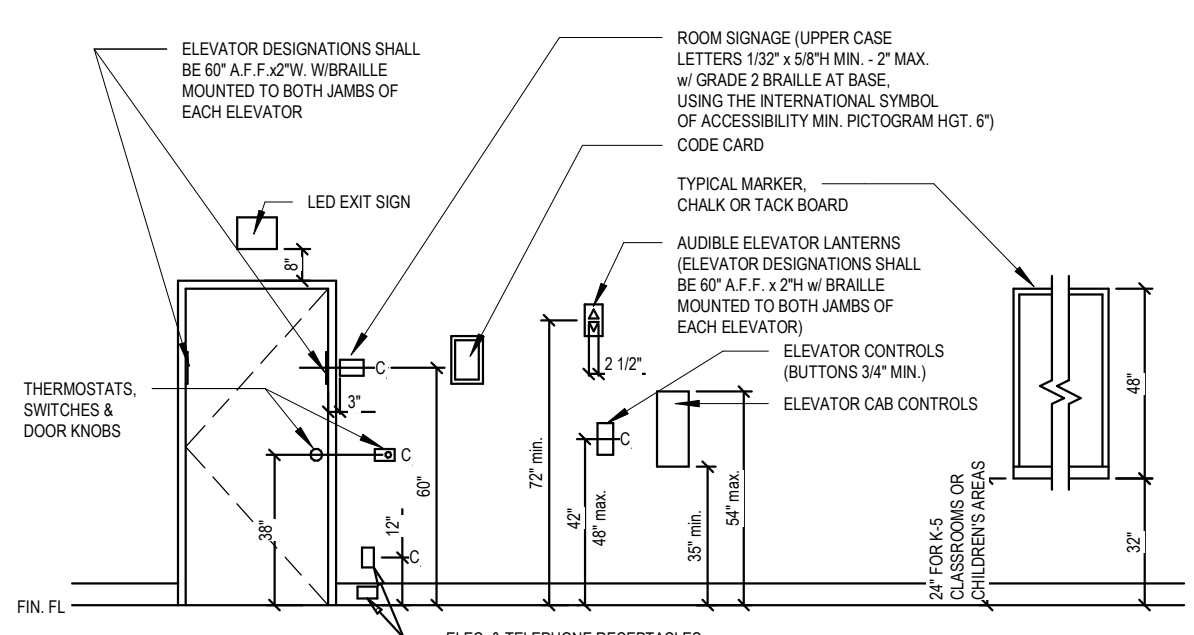
STANDARD ACCESSIBLE RESTROOM ACCESSORIES LOCATIONS AND DIMENSIONS

TYPICAL U.N.O. / NTS



RESTROOM DISPENSERS, WASTE RECEPTACLE, AND OTHER MOUNTING HEIGHTS

TYPICAL U.N.O. / NTS



MISC. MOUNTING HEIGHTS

TYPICAL U.N.O. / NTS

FIRE AND LIFE SAFETY MOUNTING HEIGHTS

TYPICAL U.N.O. / NTS

GENERAL FINISH NOTES

- SEE INTERIOR MATERIALS LEGEND FOR FINISH SCHEDULE DESIGNATIONS.
- ALL ELECTRICAL FIXTURE PLATES AND COVERS SHALL BE IVORY, U.N.O.
- SEE DOOR SCHEDULE FOR DOOR & FRAME PAINT COLORS.
- SEE INTERIOR ELEVATIONS ON SHEET A8.4
- ALL SHEET VINYL SHALL HAVE WELDED SEAMS.

GENERAL DOOR NOTES

- COORDINATE ALL HOLLOW METAL FRAME THROAT DIMENSIONS WITH PARTITION TYPES. SEE PARTITION TYPES.

DOOR SCHEDULE LEGEND

WD	WOOD VENEER WITH FACTORY FINISH
ALUM	ALUMINUM
ALUMIFG	ALUMINUM FRAME/FIBERGLASS PANELS
H.M.	HOLLOW METAL
FF	FACTORY FINISH
PT.	PAINTED; SEE INTERIOR FINISH KEY FOR COLOR.

INTERIOR MATERIALS LEGEND

RESILIENT FLOORING

RF-1	ROPPE RUBBER TILE FLOORING, COLOR - TBD
SF-1	SEAMLESS FLOORING, COLOR - TBD
RB-1	JOHNSONITE RUBBER BASE, COLOR - TBD

ACOUSTICAL PANEL CEILING

ACT-1	ARMSTRONG CERAMAGUARD 605 WITH 15/16" WHITE SUSPENSION SYSTEM
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FIBERGLASS PANEL PANEL

FRP	MARLITE WALL PANELS, COLOR - TBD
-----	----------------------------------

PAINT

PT-1	INTERIOR FIELD COLOR - TBD
PT-2	INTERIOR TRIM COLOR - TBD
PT-3	EXTERIOR FIELD COLOR - TBD
PT-4	EXTERIOR TRIM COLOR - TBD
PT-5	INTERIOR CEILING COLOR - TBD



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KEY PLAN:

PROJECT TITLE / ADDRESS:
SAU 15 - AUBURN VILLAGE SCHOOL

LOCKER RENOVATIONS

**11 EATON HILL RD.
AUBURN, NH 03032**

ISSUE:

**CONTRACT DOCUMENTS
06/29/2018**

PROJ. NO.:

3352

SCALE:

As indicated

DES. BY:

BAH

DRAWN BY:

KD

CHECK BY:

DP

ISSUE DATE:

06/29/18

REVISIONS

SHEET TITLE:

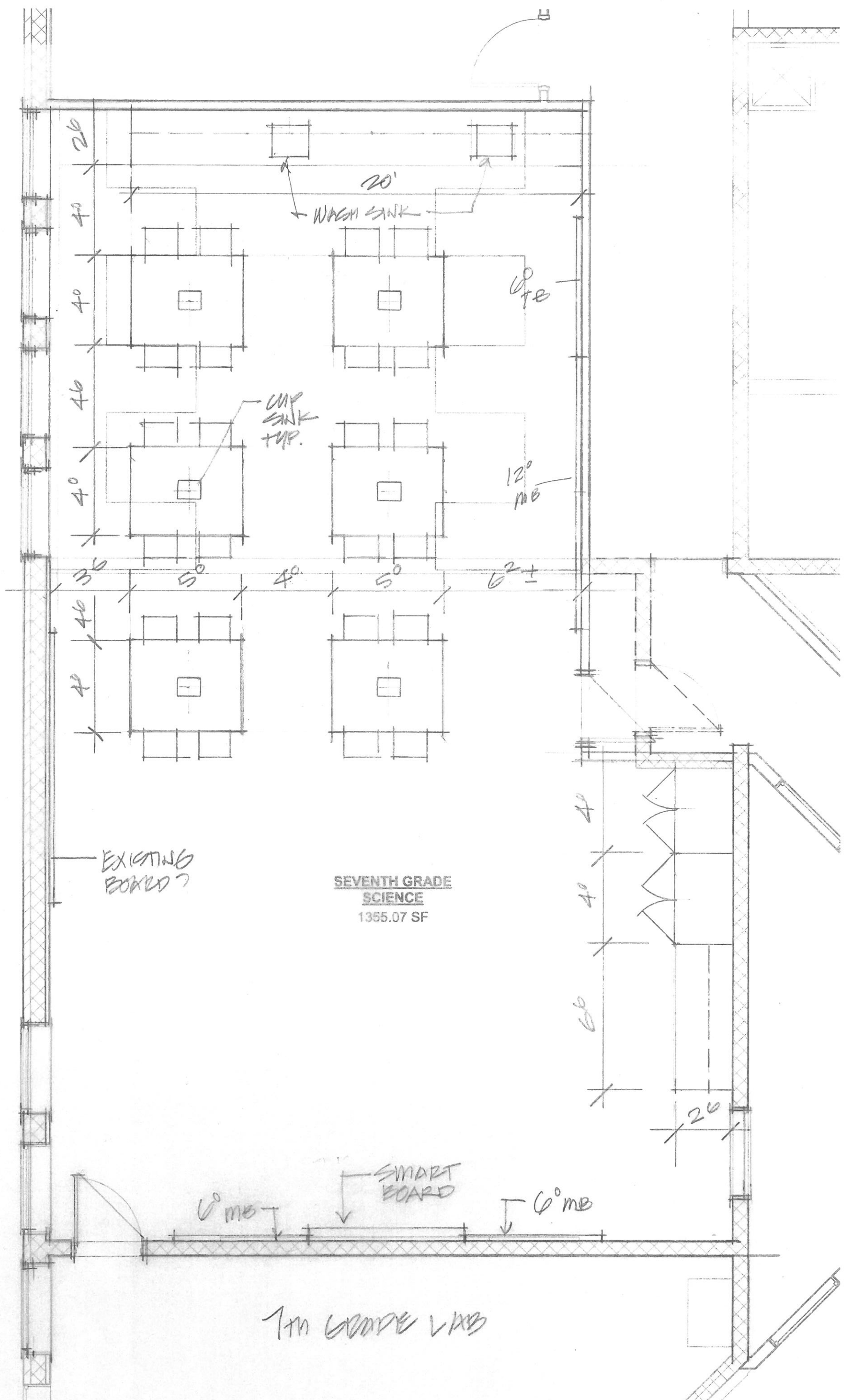
**LOCKER ROOM
RENOVATION DETAILS**

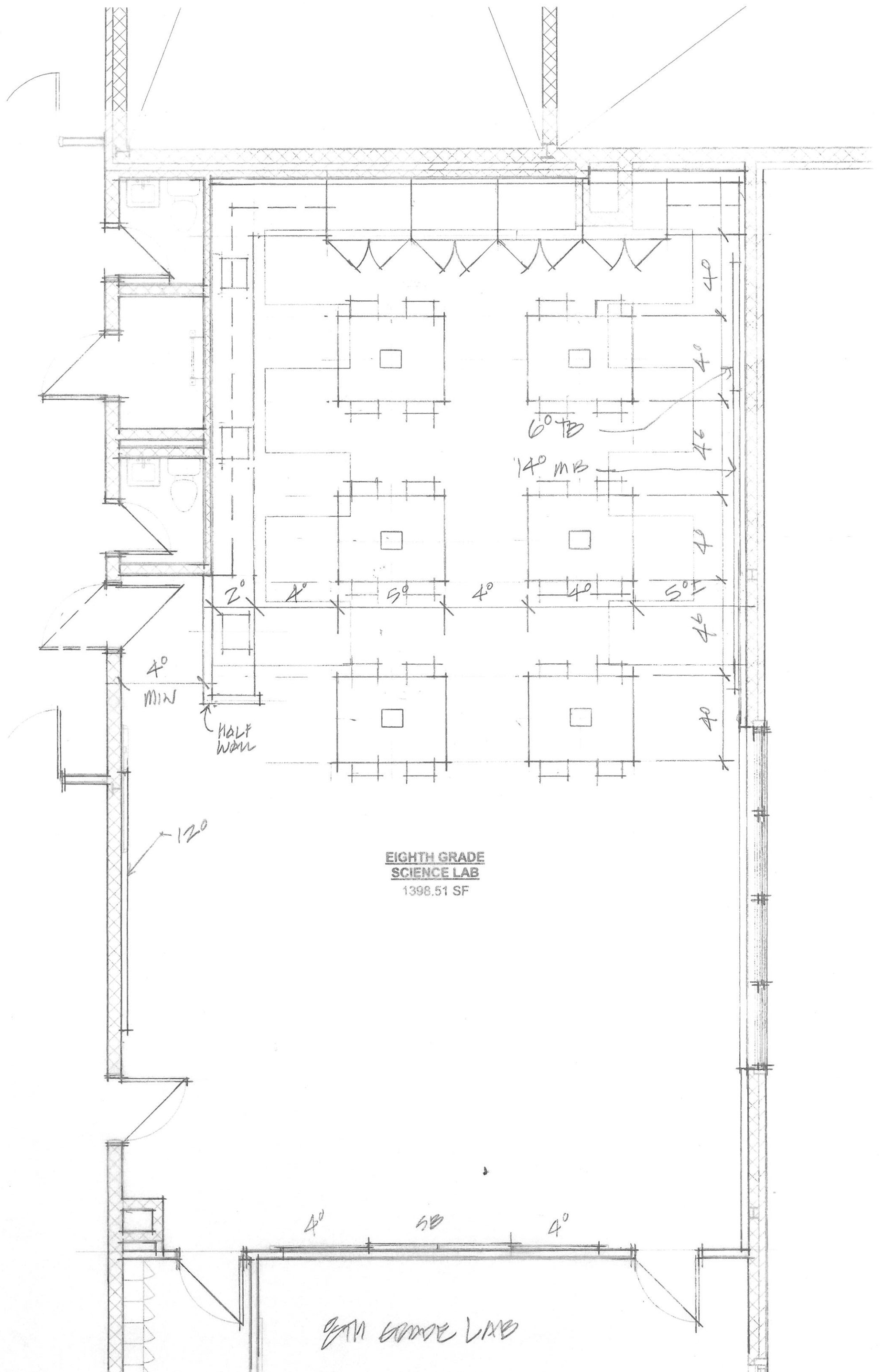
A8.5

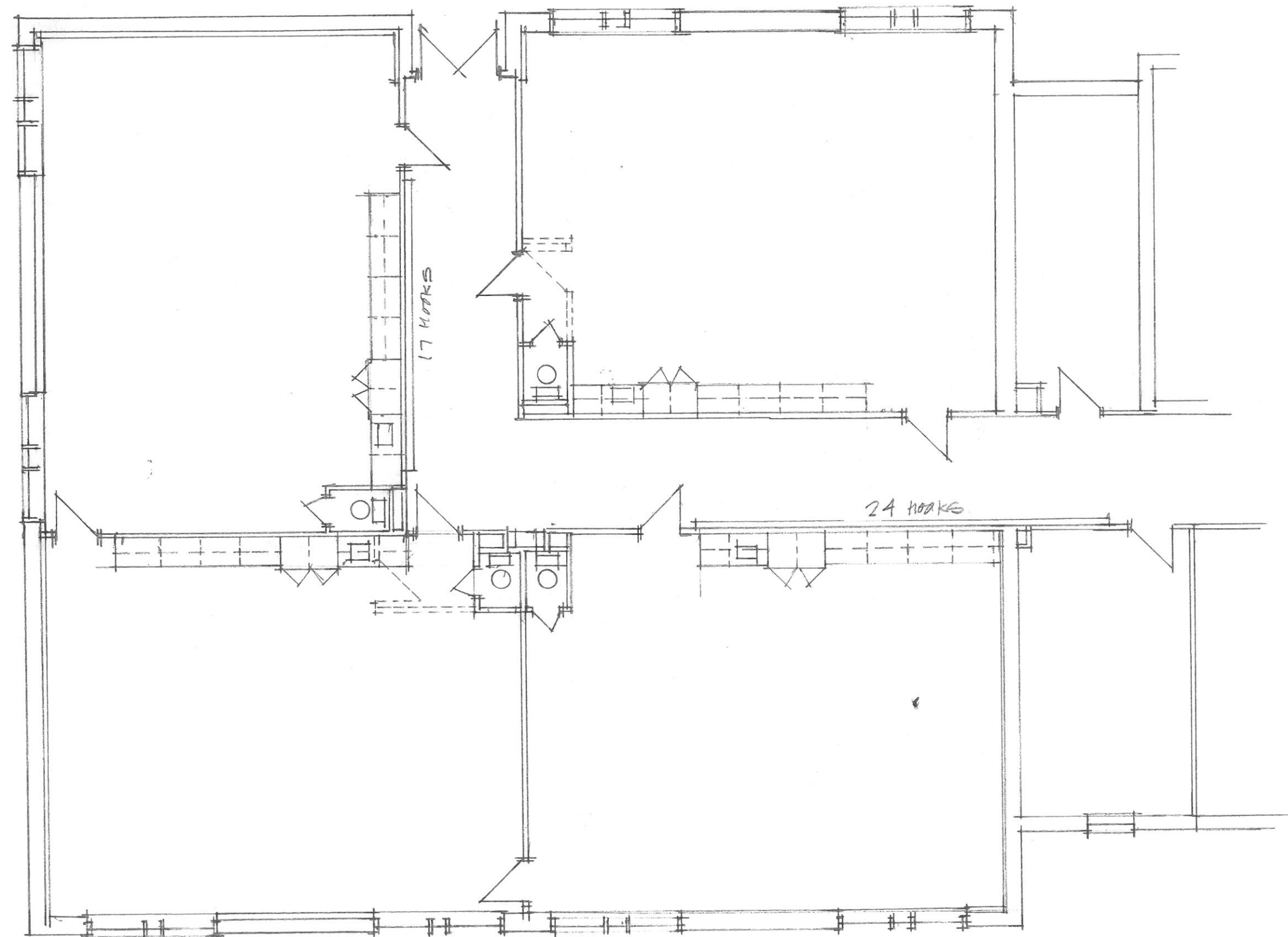
LOCKER ROOM RENOVATION DETAILS

A8.5

7/2/2018 1:42:44 PM







17 HOOKS

24 HOOKS